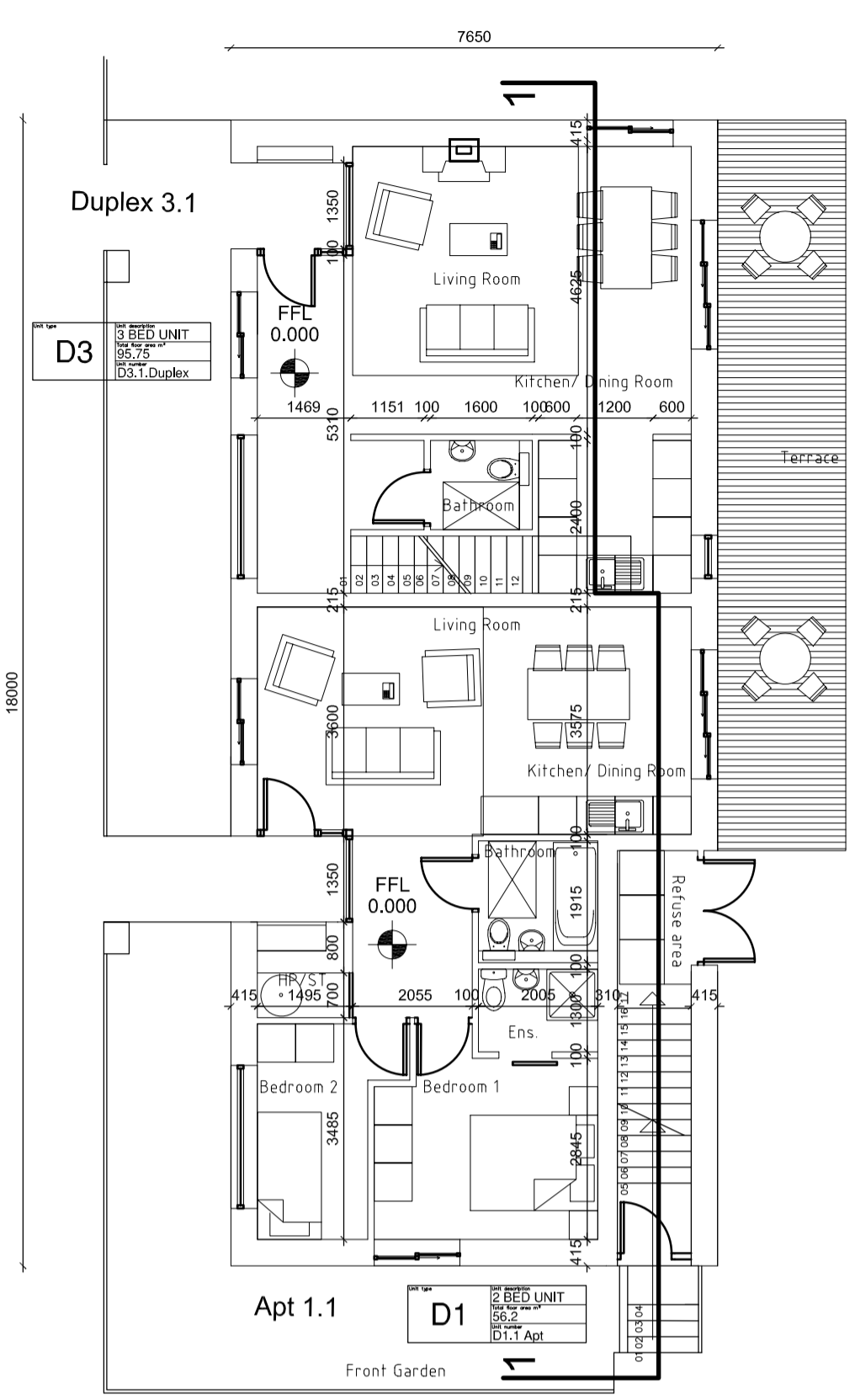
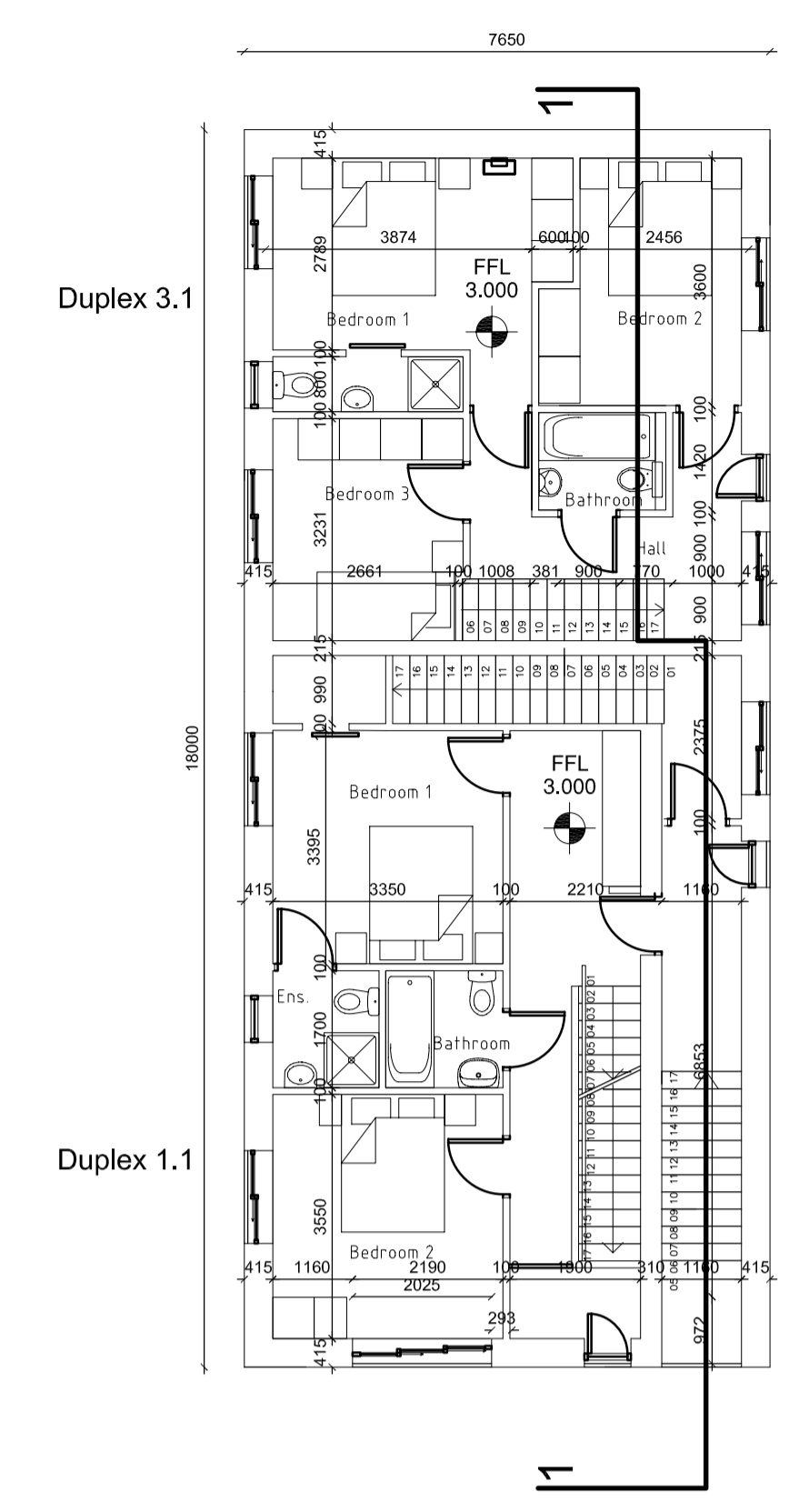


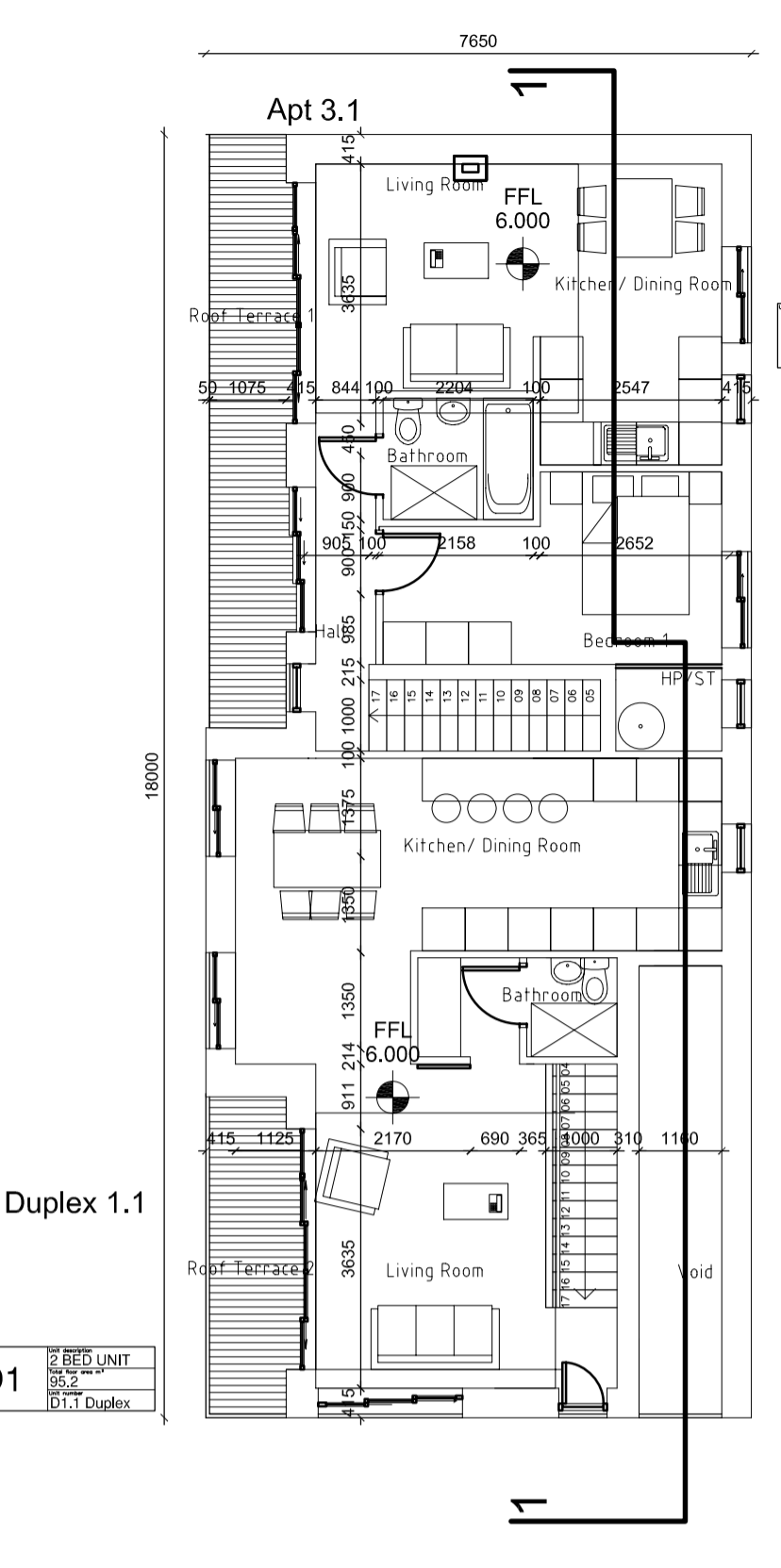
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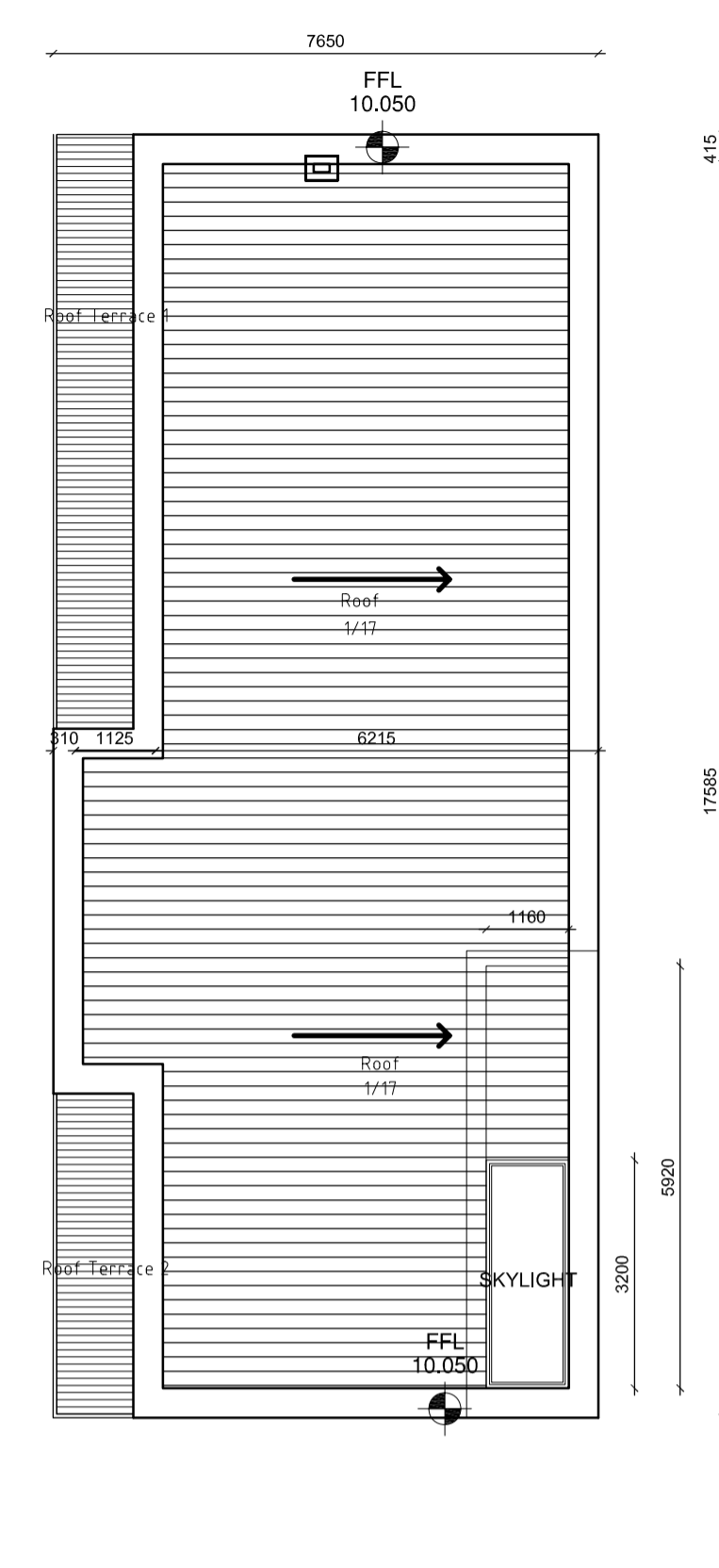
01 GROUND FLOOR  
D1s, D2s 1:100



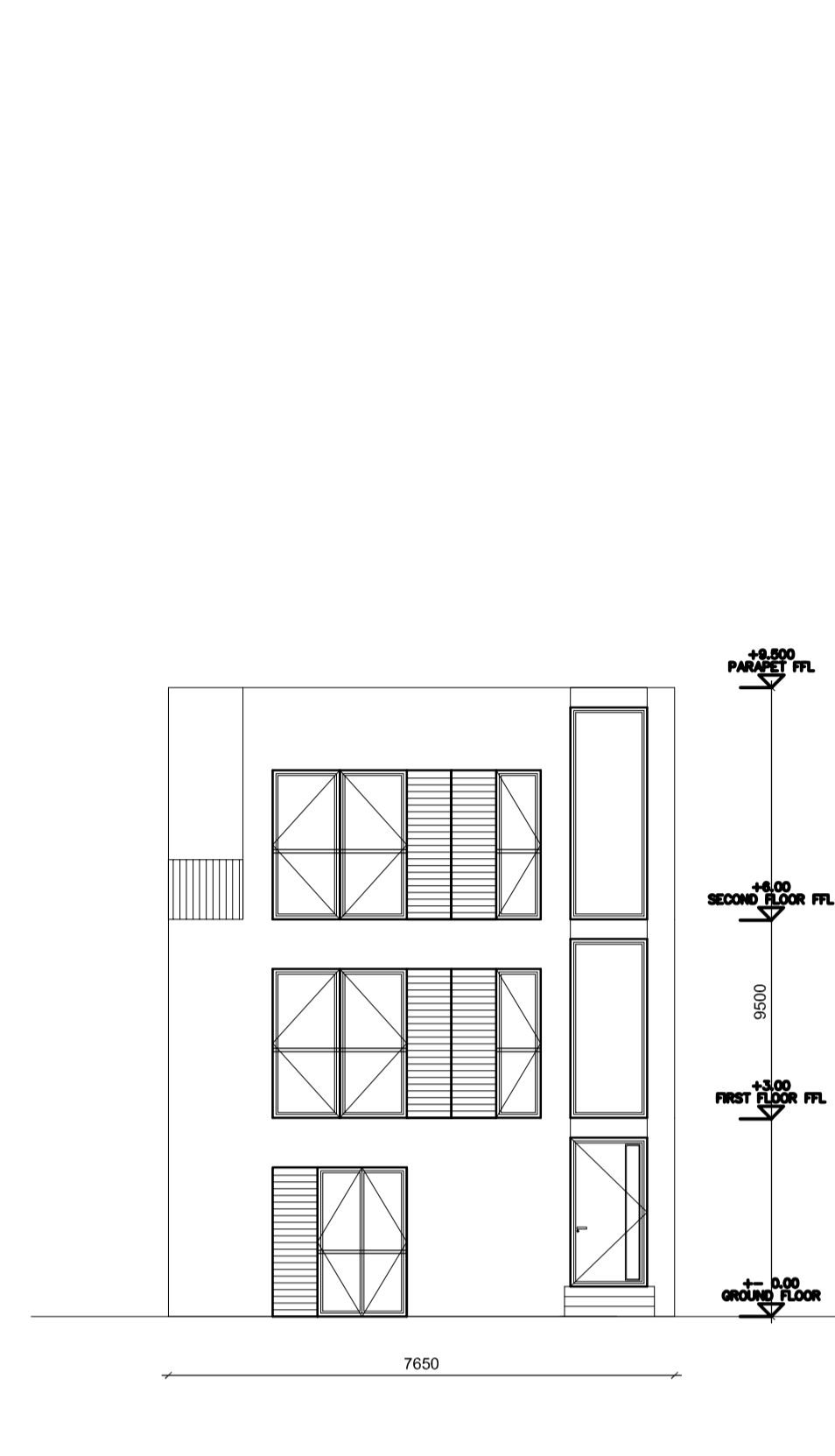
02 FIRST FLOOR  
D1s, D2s 1:100



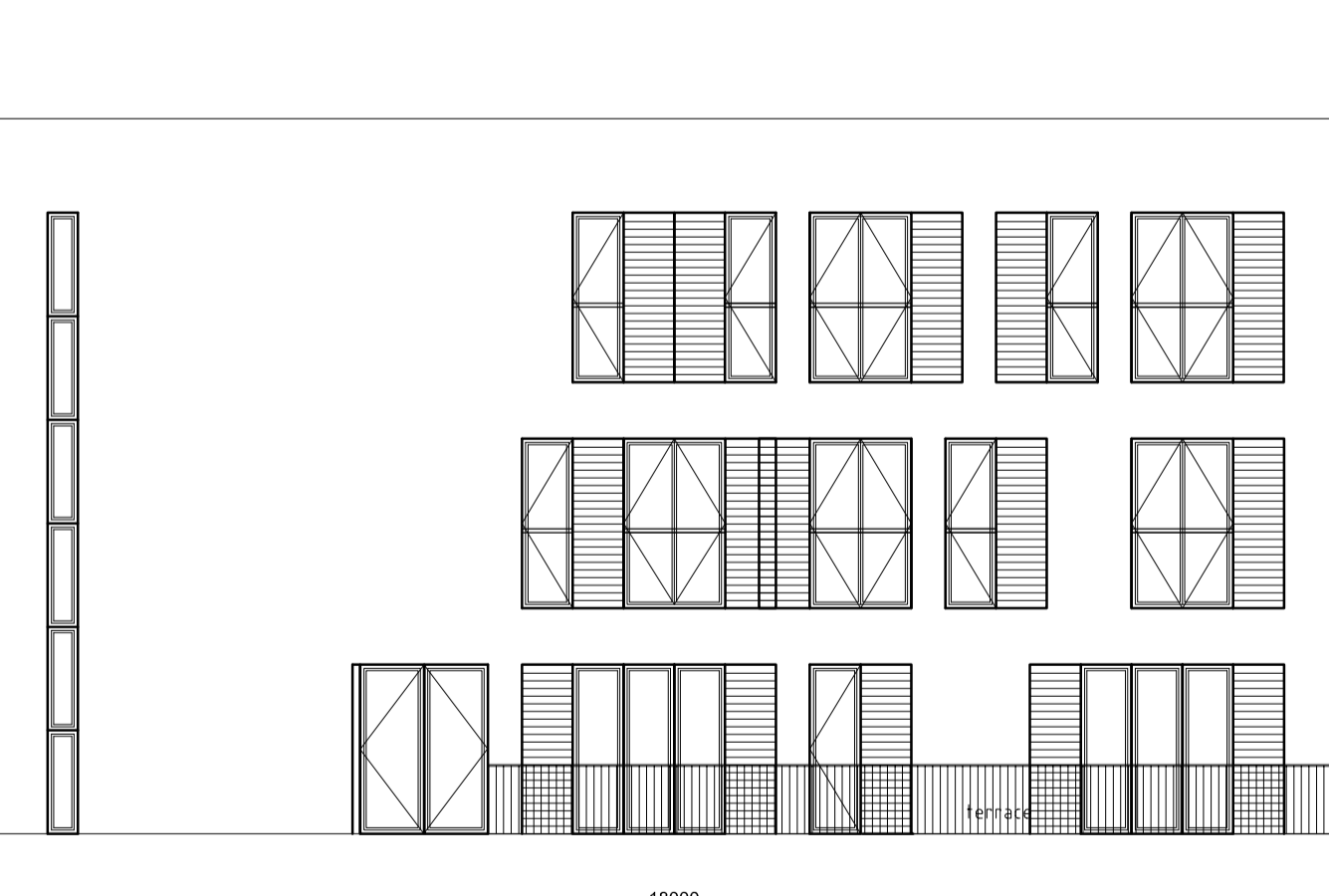
03 SECOND FLOOR  
A2s, A 1:100



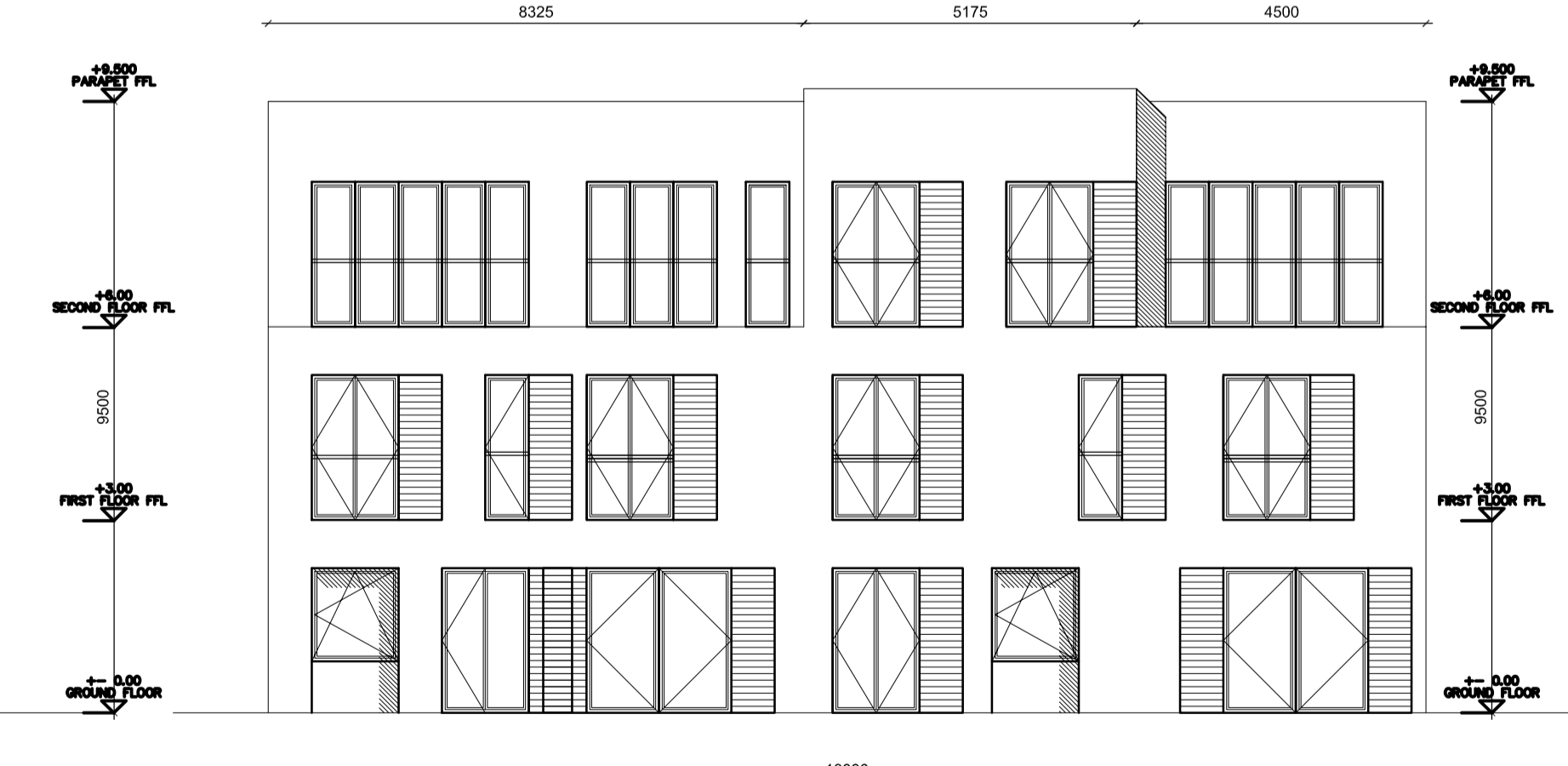
04 ROOF PLAN  
D1s, D2s 1:100



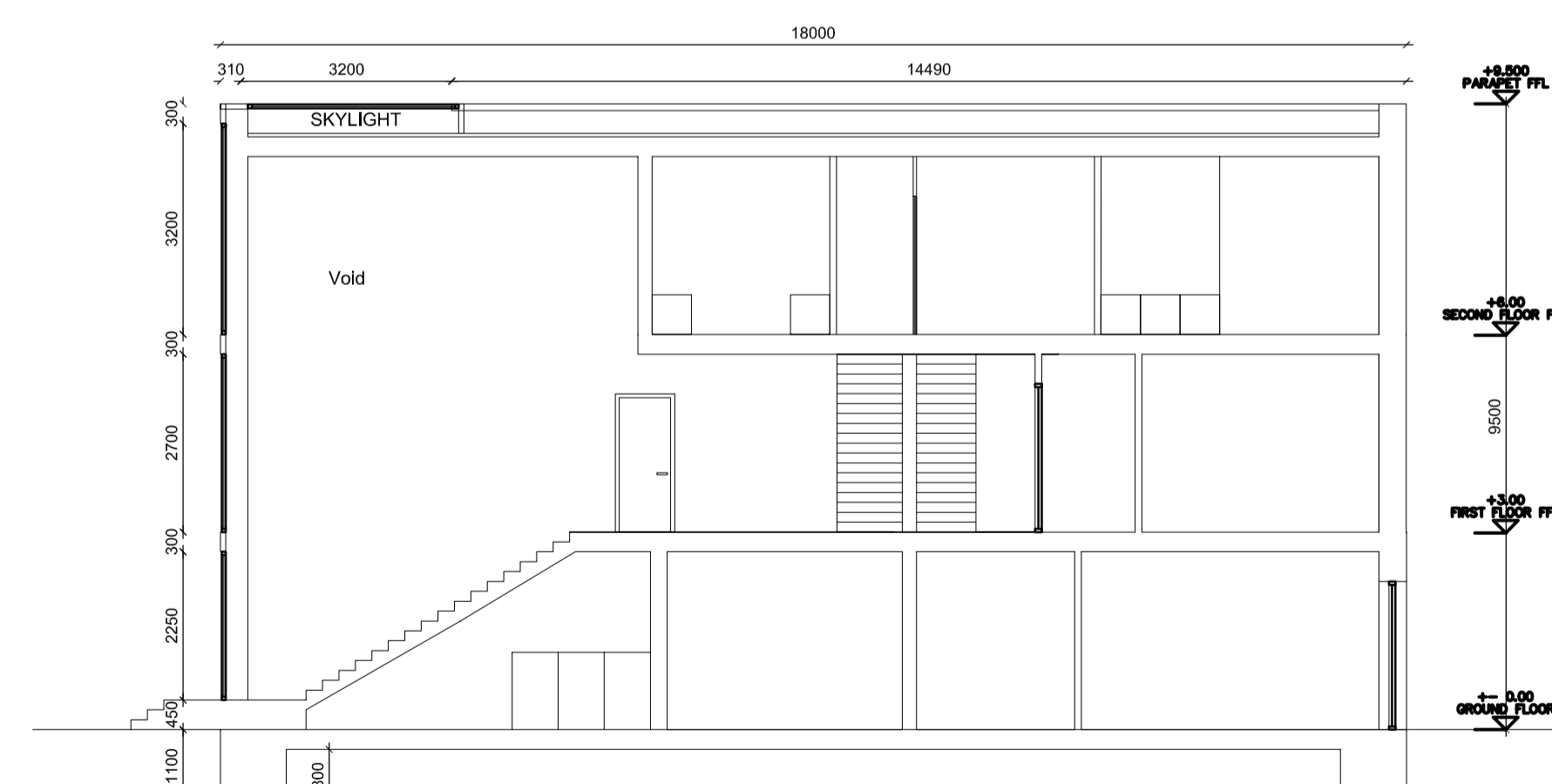
05 ELEVATION 1  
D1s, D2s 1:100



06 ELEVATION 2  
D1s, D2s 1:100



07 ELEVATION 3  
D1s, D2s 1:100



08 SECTION  
D1s, D2s 1:100

FOR FINISHED FLOOR LEVELS RELATED TO D.S. MAIN HEAD DATUM PLEASE REFER TO DWG. Nos.: 04-121\_3\_1\_A001.1, 04-121\_3\_1\_A001.2, 04-121\_3\_1\_A001.3

FOR NORTH ORIENTATION PLEASE REFER TO SITE PLAN NO. ...3.1 A 002

Proposed Outline Specification Notes - Housing Rev B - 29th August '96

**Foundations** - All foundations are to be constructed in accordance with the requirements of TGDA of the Building Regulations and in accordance with the design of the consultant structural engineer.

**Ratons** - All dwellings are to be provided with a raton protection membrane and proprietary sump installed in accordance with the manufacturer's specification and the requirements of the NBSGS and TGDA. The sump must be clearly marked in order to facilitate later excavation should the need arise (in High Risk areas as defined by the RPIR this must be done prior to completion of the dwelling).

**Ground Floor Slab (Ground Beams)** - 150mm in situ concrete floor slab laid on 50mm Kingspan TFF70 insulation (or equivalent) on continuous DPM/rastron membrane, on sand bedding, on compacted hardcore - walls in accordance with engineer's specification and detail. Overall floor slab construction to achieve a minimum U-value of 0.25 in accordance with the requirements of TGDA.

**Damp Proof Courses** - All DPCs to be installed in accordance with the manufacturer's specification, the requirements of the NBSGS and TGDA.

**Party Wall Construction** - Party walls to be constructed to comprise 215mm concrete blockwork with 10mm sand-cement mortar coat plaster and lightweight plaster finish alternatively the lightweight plaster can be replaced with 12.5mm plasterboard which is attached directly to plaster too study or gress. Minimum block density of 1800 kg/m<sup>3</sup> (given the required mass). Construction details to be achieved by construction of party wall in accordance with the requirements of TGDA & TGDE of the Building Regulations and NBSGS recommendations.

**Internal Stud Partitions** - Non Fire-Rated Partitions: 75x35mm s4s treated timber stud with 12.5mm plasterboard and s4s finish to both sides. Fire-Rated Partitions: 75x35mm s4s treated timber stud with 12.5mm plasterboard and s4s finish to both sides - no service penetrations, all in strict accordance with manufacturer's instructions.

**Structural Timbers** - All structural timbers are to be designed and constructed in accordance with the requirements of TGDA of the Building Regulations and the design of the consultant structural engineer. All timbers to be designed and installed in accordance with the requirements of the NBSGS.

**Upper Floor Construction (Timber) - Within Dwellings** - Timber 18x100 1602 Boarding or 18mm laminated cross-laid to timber floor joists to engineer's specification. All roofing and cladding to be carried out in accordance with BS444. Floor structure to be in accordance with the requirements of TGDA and the NBSGS.

**External Wall Construction (Blockwork Inner Leaf)** - Blockwork inner leaf with 100mm cavity party wall with 40mm Kingspan TFF70 insulation (or equivalent) and rendered blockwork outer leaf. External cladding to be in accordance with the structural engineer's specification & detail. Wall ties to be provided at 900mm centres horizontally and 450mm centres vertically.

**External Wall Construction (Timber Frame)** - Timber frame to manufacturer's detail with 50mm vertical and drilled cavity and rendered blockwork outer leaf. Timber frame comprising 140mm studs to have 50mm Kingspan TFF70 insulation between studs. Cavity to have proprietary cavity vents provided at a maximum of 1500mm centres in outer leaf of masonry. All timbers to be treated in accordance with the recommendations of BS5474:2003 (Preservation of Timber - Recommendations).

**Vapour Barriers & Breather Membranes** - Ensure that movement joints are provided at external blockwork not more than every 12m (or two houses). Wall ties to be provided at 900mm centres horizontally and 450mm centres vertically. Overall wall construction to achieve a minimum U-value of 0.27 in accordance with the requirements of TGDA. All breather frame structures must have a current Irish Agreement Certificate, to be produced prior to the commencement of construction.

**External Render/Block Finish** - External render to comprise self-coloured render, such as Decorated by Weber Building Solutions, applied in accordance with manufacturer's recommendations. Colour to be approved in writing by architect prior to commencement of work. All external cladding to be carried out in accordance with BS5262:1991 (Code of Practice for External Rendering). External block finish to be selected and approved in writing by architect prior to commencement of work. All brickwork to be carried out in accordance with BS 5534:2003 (Code of Practice for Masonry).

**Lintels** - All lintels to engineer's specification and installed in accordance with the manufacturer's recommendations. Lintels to be provided in accordance with BS 5534:2003 (Code of Practice for Masonry).

**Roof** - Roof structure to be designed and installed in accordance with the requirements of TGDA of the Building Regulations and the design of the consultant structural engineer. Roofed roof to consist of selected roof timbers on DPM/rastron treated timber joists on sarking felt (such as Protect V400) on prefabricated roof trusses all installed in accordance with manufacturer's recommendations and the requirements of TGDA and the NBSGS. All roofing materials to be installed in accordance with BS 5534:2003 (Code of Practice for Slating & Tiling).

**Insulation to Roof Space (Unpitched Roof Space)** - 250mm Max/Par glasswool quilting to be laid between joists in accordance with manufacturer's specification to give a minimum U-value of 0.20 in accordance with the requirements of TGDA. Ensure that proprietary vents/ventilators are used in order to ensure adequate ventilation in relation above the level of the insulation at all times.

**Insulation to Roof Space (Dormer Roof)** - 150mm Kingspan TFF70 (flex) between rafters to give a minimum U-value of 0.20 in accordance with the requirements of TGDA. Ensure that a 50mm vented roofspace is maintained (between the rafters) above the insulation layer.

**Fire Detection/Fire Safety** - All dwellings (up to and including three stories above ground) to be provided with an L22 fire detection system, as outlined in paragraph 1.5.5.2 of TGDA or as required by the Fire Safety Certificate for the development. All dwellings must comply with the requirements of TGDA & BS5588-1:1999 (Fire procedures in the design, construction and use of buildings - Code of practice for residential buildings).

**Electrical** - Design and installation of electrical system to be carried out by competent electrical contractor. Electrical sub-contractor to be a registered member of RECC of EICSA. Position of all electrical outlets and appliances to be agreed with the architect in writing prior to the commencement of installation.

**Rainwater Goods** - Unless otherwise advised in writing by the architect, gutters to be Alumatic Aquatite, gording with 75x25mm Alumatic Rainwater downpipes. R/c colour to be selected by architect and approved in writing prior to ordering. Rainwater system to be installed in accordance with manufacturer's recommendations. Individual dwelling rainwater system to connect to site stormwater attenuation in accordance with engineer's specification and detail.

**Sanitation** - All sanitary fittings connected to single stack drainage system to have deep water anti-siphonage pipe treated 150mm diameter of rope. Single stack drainage system to be designed and installed in BS-5572:1994. Access panels to be provided to all concealed elements.

**Ventilation** - Habitable Rooms: Permanent background ventilation of at least 600mm<sup>2</sup> & an opening window giving at least 5% of the floor area to provide natural ventilation. Kitchen/Bathrooms: Mechanical extract ventilation to levels outlined in TGDA (in accordance with most ventilation provided in external window openings). Roof Spaces: To be ventilated above insulation level in accordance with requirements of TGDA & the NBSGS.

**Windows & Screens** - Windows to be hardwood timber double-glazed windows fixed in accordance with manufacturer's recommendations. All glass before 500mm to be safety glass in accordance with requirements of TGDA, where the design of a screen includes a self-closing system the 500mm should be measured from the top of the sash. All windows to be designed to have a clear opening section of at least 0.33m<sup>2</sup>, with minimum width and height of 450mm in accordance with paragraph 1.5.8 of TGDA. All windows and screens to comply with the requirements of TGDA, TGDA, TGDA and the NBSGS.

**Sound Transmission** - The recommendations of BS5232:1999 (Sound Insulation & Noise Reduction for Buildings - Code of Practice), the NBSGS and the requirements of TGDA are to be implemented fully. A minimum airborne sound reduction of 54dB must be achieved between dwellings.

**Note** - The above specification is an outline specification only. It is the responsibility of the contractor to ensure that the construction of the works complies with the Building Regulations and the requirements of the NBSGS. Where reference is made to a TGD file within the Current Technical Guidance Documents of the Building Regulations, it is the responsibility of the contractor to ensure that the most up-to-date editions of the Building Regulations are used at all times. All drawings are to be read in conjunction with the NBSGS (Housing) House Building Manual and the Building Regulations, a copy of each should be retained on site at all times for reference purposes.

**3.1 PLANNING APPLICATION**

JOB: Residential Development at Newcastle-Lyons South, Phase 1 Co. Dublin

CLIENT: Maplewood Developments Ltd.

ARCHITECT: ANTHONY REDDY ASSOCIATES

DRAWING: D1-D3 House Type Part V- Plans / Elevation / Section

DATE: 27th October 2006 SCALE: 1:100

JOB NUMBER: 06-140J D1s, D3s

REVISION: 06-140J D1s, D3s

ORIGINAL SHEET SIZE = A1