

Development Area 9 Adamstown Square






- 900 - 1,100 Dwelling units
- Up to 11,000 sq. m. of non-residential development
- New District Centre periphery





Adamstown Square

Area character type	High development density
Gross area	15.1 hectares
Net development area	12.15 hectares
Min-max plot ratio	1 : 0.75 - 1 : 0.90
Min-max total development	90,000 - 110,000 sq. m.
Min-max dwellings per Ha	75 - 90
Min-max total dwelling units	900 - 1,100
Min affordable/social dwellings	15% of total dwellings
Min non-residential development	120 - 136 no. childcare places 1 x 150 sq. m. community centre
Max non-residential development	10% of total development up to 11,000 sq. m.
Max retail development	10% of total non-residential up to 1,100 sq. m.
Min-max courtyard building height	2 - 4 storeys with up to 5 storeys at corner/feature buildings
Min-max perimeter building height	3 storeys plus setback to 5 storeys plus setback
Max landmark building height	30 metres (up to 10 storeys approx.)
Min local public open space	0.54 hectares














Key - Access and Movement

-  Residential Distributor Road with Busway
-  Residential Distributor Road - with Parking
-  Access Point from Main Road Network
-  Local Through Road
-  Pedestrian and Cycle Network

Key - Buildings and Spaces

-  Boundary of Net Development Area
-  Key Building Frontage

Key - All Plans

-  SDZ Planning Scheme Boundary (Gross Development Area)
-  SDZ Planning Scheme Boundary (where outside gross development area)
-  Road
-  Dedicated QBC Busway
-  Perimeter Building
-  Courtyard Building
-  Flexible Use (Perimeter) Building
-  School/Civic Building
-  Opportunity for Landmark Building
-  Hard Landscaped Public Space
-  Local Public Open Space
-  Private Open Space
-  Established Tree to be Preserved



Access and Movement



Buildings and Spaces



Indicative Layout



Bird's Eye View



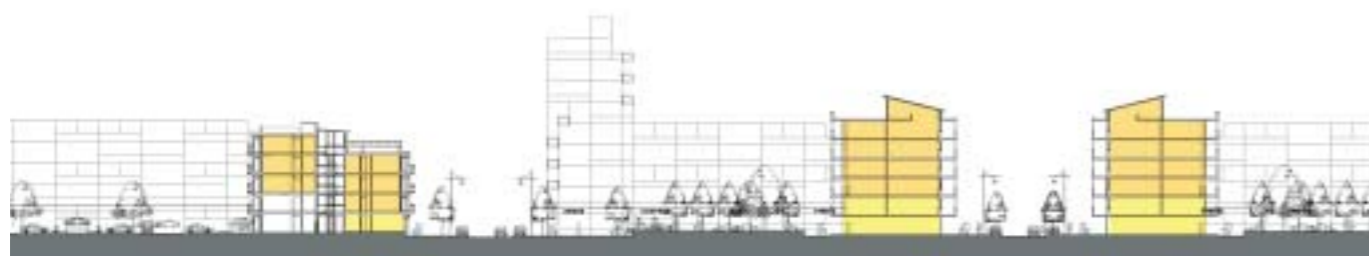
Corner Detail



Street Edges - Imaginative



Terrace Housing



Section A-A at Adamstown Square



Materials



Materials - Quality Finishes & Street Furniture

Urban Design Characteristics

- End of eastern boulevard and urban square as focal point
- Landmark buildings edge the Square on two sides providing a back 'wall' to the plaza which looks south
- The road edges are defined by quality street furniture and lighting
- Strong urban blocks edge the Central boulevard to the east
- Pedestrian and cyclist permeability



Contemporary Courtyard Development



Variety in Form Frames Square